



Promoting the wise use of land

**COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING AND BUILDING
STAFF REPORT**

PLANNING COMMISSION

MEETING DATE September 8, 2016 LOCAL EFFECTIVE DATE September 22, 2016 APPROX FINAL EFFECTIVE DATE October 13, 2016	CONTACT/PHONE Cindy Chambers (805) 788-5608	APPLICANT Plastino VI, LP	FILE NO. DRC2015-00101
SUBJECT <p>Request by Todd Plastino for a Development Plan/Coastal Development Permit to allow construction of an 85,663 square-foot self-storage facility and 1,200 square-foot caretaker's unit on a vacant 4.67 acre parcel. The proposed development would include 12 single-story storage buildings, a stormwater retention basin with 17,000 cubic foot capacity and approximately 18,470 square feet of landscaping. The caretaker's unit includes an adjoining 519 square-foot office and attached two-car garage. Related improvements include a septic system and leachfield, parking, paving, lighting and perimeter fencing. The project will result in the disturbance of the entire 4.67-acre parcel. The proposed project is within the Industrial land use category, and is located on the south side of Willow Road, approximately 1,000 feet east of Sheridan Road, in the village of Callender/Garrett. The site is within the South County (coastal) planning area.</p> <p>This project was previously approved by the Planning Commission on March 24, 2009 under DRC2005-00144 (Adams) with an adopted Mitigated Negative Declaration (ED05-325). Construction was delayed due to the economy and the entitlement expired in March of 2015. The current proposal is generally consistent with the previous project but incorporates minor changes which serve to further minimize potential for project-related impacts, including the elimination of a previously-approved car wash facility from the proposal. A modification to the standards of 23.04.168.f for parking lot shade trees is requested for onsite truck parking.</p>			
RECOMMENDED ACTION <ol style="list-style-type: none">1. Adopt the Addendum to the Negative Declaration in accordance with the applicable provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et seq.2. Approve Development Plan DRC2015-00101 based on the findings listed in Exhibit A and the conditions listed in Exhibit B			
ENVIRONMENTAL DETERMINATION <p>The Environmental Coordinator found that the previously adopted Mitigated Negative Declaration is adequate for the purposes of compliance with CEQA. Per State CEQA Guidelines (Sec. 15164(a), Sec. 15162) an Addendum to the adopted Mitigated Negative Declaration was prepared as the following conditions apply: 1) only minor technical changes or additions are necessary; 2) no substantial changes have been made or occurred that would require major revisions to the Mitigated Negative Declaration due to either new significant effects or substantial increases in the severity of previously identified significant effects; 3) substantial changes have not occurred with respect to the circumstances under which the project is undertaken; 4) no new information of substantial importance which was not known or could not have been known at the time of the adopted Mitigated Negative Declaration has been identified. Modified mitigation measures are proposed to address biological resources, noise, transportation and water and are included as conditions of approval.</p>			
LAND USE CATEGORY Industrial	COMBINING DESIGNATION Local Coastal Program and Coastal Appealable Zone	ASSESSOR PARCEL NUMBER 091-192-032	SUPERVISOR DISTRICT(S) 4
PLANNING AREA STANDARDS: Development Plan required; Access to Highway 1			
LAND USE ORDINANCE STANDARDS: Setbacks, Height, Parking, Landscaping / Screening / Fencing, Caretaker Unit, Local Coastal Program Area, & Coastal Appealable Zone			
EXISTING USES: Site is currently vacant			

SURROUNDING LAND USE CATEGORIES AND USES:	
North: Residential Suburban/residential	East: Industrial/industrial
South: Industrial/RV Storage	West: Industrial/mini storage
ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE DEPARTMENT OF PLANNING & BUILDING AT: COUNTY GOVERNMENT CENTER γ SAN LUIS OBISPO γ CALIFORNIA 93408 γ (805) 781-5600 γ FAX: (805) 781-1242	

OTHER AGENCY / ADVISORY GROUP INVOLVEMENT:	
The project was referred to: South County Advisory Council, Public Works, Environmental Health, Ag Commissioner, County Parks, Cal Fire, Nipomo Community Services District, APCD, Cal Trans, California Coastal Commission, and the Regional Water Quality Control Board	
TOPOGRAPHY: Nearly level to slightly sloping (0-10%)	VEGETATION: Agricultural field
PROPOSED SERVICES: Water supply: Woodland Park Water Company Sewage Disposal: Individual septic system Fire Protection: Cal Fire	ACCEPTANCE DATE: May 10, 2016

PROJECT HISTORY/BACKGROUND

A Development Plan/Coastal Development Permit was previously approved on this 4.67 acre site for an 88,127 square foot self-storage facility, a 1,900 square foot carwash facility and a caretaker's unit on March 24, 2009 under DRC2005-00144. The approval included 16 single-story storage buildings, a 492 square foot office, a 1,200 square foot single-story caretaker's residence, three parking stalls, 13,750 square feet of landscaping, and one storm water retention basin with 9,560 cubic feet of capacity. A concrete block wall was proposed across the frontage as a noise buffer for the caretaker's residence. The project was designed to access Willow Road via a new driveway at the northeast corner of the property.

A Mitigated Negative Declaration was adopted for the development with mitigation measures applied to reduce the potential for impacts to: aesthetics, air quality, biological resources, geology & soils, hazards & hazardous materials, noise, transportation & circulation, and water. The primary concerns were traffic, visual impacts, and noise and water impacts related to the proposed carwash. Mitigation measures were applied to the carwash facility regarding hours of operation and water reclamation equipment to reduce the noise and water impacts to a less than significant level. Other mitigations included: improvements to Willow Road frontage to construct a two-way left turn lane to address traffic concerns; landscaping and lighting to mitigate visual impacts; and construction-related measures to protect air and water quality.

The property, which has historically been used for strawberry cultivation, was fallow for several years while the entitlement was granted time extensions pending development. The Development Plan and Coastal Development Permit expired in March of 2015 and the parcel was sold to the current owner, who also owns the adjacent self-storage facility to the west. The parcel is currently under strawberry cultivation at this time.

PROJECT ANALYSIS

The proposed project is a request by Todd Plastino to construct a mini storage facility and caretaker's unit on the property. The property is approximately 4.67 acres and is surrounded by existing mini storage facilities directly west, a large industrially-zoned RV storage facility to the south, and undeveloped industrial property to the east. Across Highway 1 to the north are large-lot residential properties, developed with single family residences.

The Applicant has made revisions to the previously-approved development plan to help reduce construction cost and minimize project impacts, including:

- Elimination of a previously-approved 1,900 square foot self-service carwash
- Storage buildings re-oriented north-south across the lot instead of east-west to reduce site grading and retaining wall height
- Increased retention basin capacity to meet current storm water management standards
- Number of storage buildings reduced from 16 to 12 one-story structures
- Reduction of 2,460 square feet in total storage floor area
- Willow Road driveway access moved to the west side of the lot to share an existing drive entrance via easement with the adjacent storage facility, eliminating a new access point
- Caretaker's residence includes a two-car garage; 13 uncovered parking spaces are provided on site
- Caretaker's residence and masonry wall design includes enhanced materials, architectural relief and roof element details
- Landscaped area is increased by 4,720 square feet due to larger basin; plant materials are drought-tolerant, selected from the County-approved list and drip-irrigated

The previous project generated concerns with traffic, noise, water, and visual impacts, some of which were related to the car wash portion of the project. Mitigation measures were applied that reduced these impacts to less than significant. With the elimination of the car wash, the mitigations specific to car wash noise and water impacts are not applicable to this project. Other mitigation measures are modified to reflect minor changes made to the project, or changes in County requirements since 2005. The Addendum to the Mitigated Negative Declaration describes the changes to the project and modifications to mitigation measures that reduce the proposed project's potential for impacts to a less than significant level.

Ordinance Compliance:

23.04.108 to 112 - Setbacks: The Coastal Zone Land Use Ordinance for industrial uses determines the side and rear setback requirements for the subject property, with the front setback determined by the more restrictive standard in the South County Area Plan for the Callendar-Garrett Village area. The required setbacks are as follows: front - 50 feet, side - 0 feet, and the rear is 0 feet. *The project complies with these standards because the proposed setbacks are as follows: front = 50 feet, side = 3 feet, and the rear = 0 feet.*

23.04.124 - Height: The height limit for structures within the Industrial land use category is 45 feet. *The project proposes a maximum height of 15 feet and complies with this standard.*

23.04.166 - Parking: The Coastal Zone Land Use Ordinance for industrial uses determines the parking standards for the subject property. Required parking for mini-storage projects includes two spaces for the office manager, and for the caretaker unit two additional spaces are required. *The project plans show four parking spaces outside the office, and provides a two-car garage of 497 square feet for the manager's unit. Therefore, this project meets the standard.*

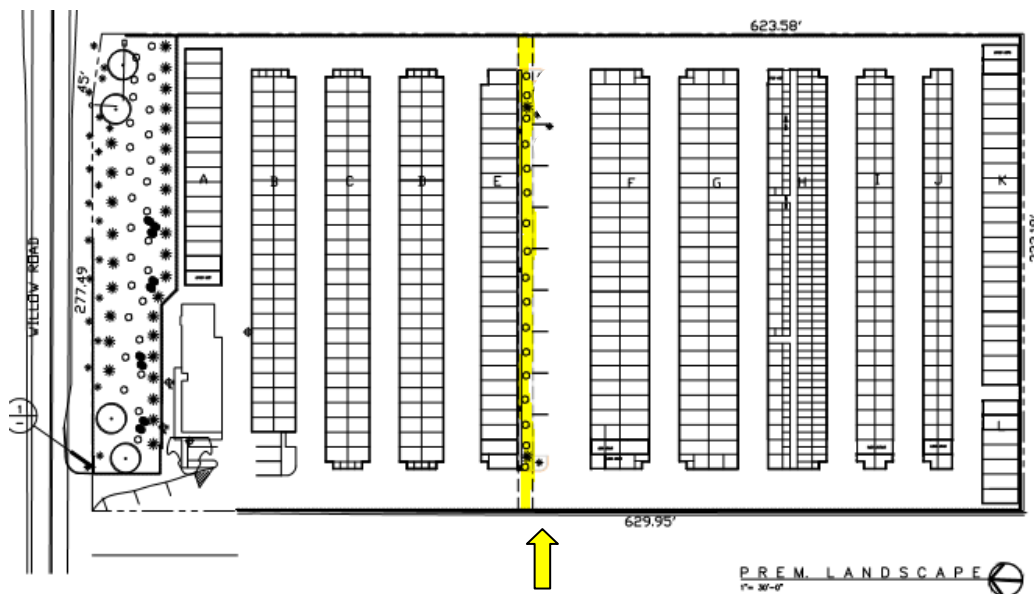
23.04.190 Fencing and Screening: Fencing and screening is required for industrial projects. A decorative wall and landscape screening along the front of the property are proposed on the project plans. On the sides and rear lines, chain-link fencing is proposed on low concrete

retaining walls. Drought tolerant landscape is proposed in the 50 foot front setback along Highway 1 within the drainage basin. *This project complies with these standards as proposed.*

23.04.182 Landscaping: Landscaping is required for all projects that require land use permit approval in the Industrial land use category. Parking lots with three or more spaces shall provide trees so that within 10 years, 60% of surface area of the lot is shaded, in addition to perimeter landscaping along Highway 1. *This project complies with this standard for required parking because the applicant has provided a conceptual landscape plan that softens views from Highway 1 and the project is conditioned upon submittal for construction permit to provide a landscape plan meeting the shade standard for the four spaces at the front of the property.*

23.04.182.c Modifications: Request for Modification to Parking Lot Landscape Standards. The project includes a row of parallel parking behind Building E, alongside a 10-foot wide landscaped utility easement bisecting the property with overhead power lines. The applicant is requesting modification to the landscape standards of 23.04.168.f, for this parking area, to omit required trees to achieve 60% shading within 10 years. The parking area is provided for use by customers utilizing a 26-foot rental truck or pulling a utility trailer, and for parking of tractor-trailers up to 65 feet in length. The request for modification to the tree shading standard is supportable in this instance for the following reasons:

1. The parking area is not visible from outside of the interior drive isle.
2. Shade tree encroachment into the overhead utility easement poses a safety concern.
3. Tree planters between spaces would limit access by the intended vehicles.
4. This parking is intended for temporary use, not all-day or long-term parking.



Easement and Truck Parking Location

The waiver of tree shading requirements on the row of parking between Buildings E and F, adjacent to a PG&E overhead line easement, is acceptable because the parking location is not visible from outside of the development and is intended for temporary use by trucks with trailers and moving vans.

Noise: A noise analysis was conducted for the previous project (David Dubbink Associates, 2006) which showed that the largest existing noise source for this area is Willow Road. The noise analysis evaluated noise impacts from the proposed car wash on neighboring residences, and noise impacts to the proposed caretakers unit. The study analyzed the effects of the proposed car wash and vacuums and found that noise generated from that use would impact adjacent residences and the on-site caretaker's unit. The car wash facility has been removed from the project, eliminating this source of noise.

The noise analysis explained that Willow Road as it stands today exceeds the Noise Ordinance requirements; the proposed caretaker's residence would experience traffic noise levels of 60-65 dB L_{dn}/CNEL. The project conditions include mitigation for noise reduction in construction to reduce interior noise level to an acceptable level. In addition, a six-foot high masonry sound wall was required along Willow Road to mitigate exterior roadway noise impacts. The applicant is proposing to reduce the wall height to four feet in front of the home to allow view of the street from the interior, and has provided outdoor living area adjacent to the garage that is shielded by a separate six-foot masonry wall. Staff has determined that the proposed design is the functional equivalent of noise reduction achieved by the previous design in terms of shielding the residential occupant from external noise sources.

Conditions of approval have been added to ensure that noise within the caretaker unit and the private outdoor living area will be at acceptable levels. The project as proposed is not anticipated to generate noise.

Drainage: As proposed, the project will result in the disturbance of approximately 4.7 acres, and will increase the impermeable surface in the area. An onsite drainage system has been designed for this project (a retention basin located in the front landscape setback area), to collect storm water and allow it to filter into the soil on the project site, rather than accumulate and drain offsite. No impacts to the drainage system are expected.

Prior to issuance of construction permits, the Public Works Department will evaluate the proposed onsite drainage system for adequacy.

Highway 1 Access and Site Distance: Standards in South County Area plan (Coastal) limit access to Highway 1. Projects are to be designed to not have direct access to the highway, unless no alternative public road access is available.

The applicant has revised the site access to eliminate a new driveway on the east side, and the project will share access with the adjacent self-storage facility to the west which is also owned by the applicant. Caltrans has reviewed the revised plans and has provided a modified requirement for the two-way left turn lane (TWLTL) that would extend from the left turn lane pocket at Sheridan Road to extend at least 135 feet east of the center line of the proposed shared driveway. This condition, modified in response to the single point of access for the two properties, will adequately mitigate the potential for traffic safety impacts.

The project's potential for impacts to traffic safety on Willow Road is less than significant with the construction of a two-way left-turn lane as conditioned. The only access to the site is off of Highway 1; therefore there is no alternative public access road available for the project other than Highway 1. By using the existing access of the adjacent property, no new access points to Highway 1 (Willow Road) will be created.

Parking Lot Construction Standards: All parking areas shall be surfaced with a minimum of asphalt or concrete. *The project complies with this requirement as proposed.*

Water and Wastewater: The project proposes to use a community system as its water source, and received a will-serve letter from Woodland Park Mutual Water Co. With the elimination of the car wash, previous mitigation measures regarding carwash water recycling are not applicable, and the onsite well that was approved to supply the carwash will not be used for the project. Standard drainage and erosion control measures will be required for the proposed project and will provide sufficient measures to adequately protect surface water quality.

The project is subject to the adopted water conservation requirements of the Countywide Water Conservation Program adopted by the County Board of Supervisors in October 2015 (Resolution 2015-288). This program requires all new development in the Nipomo Mesa Water Conservation Area to be water neutral through water use offset requirements. The Building and Construction Ordinance Title 19 Section 19.07.042 includes water conservation provisions that will require the applicant to obtain water offset clearance with building permit issuance that verifies new water use has been offset at a 1:1 ratio.

In 2015, the County adopted the State's new Model Water Efficient Landscape ordinance that regulates water use for landscaping. This ordinance is implemented during the construction phase per the County's Building and Construction Ordinance (Title 19). The project construction will be required by project conditions to comply with the new ordinance through the landscape and irrigation plan approval and inspection process.

Based on the foregoing, the proposed project complies with the standards and requirements for water conservation and water quality protection as conditioned.

The project proposes to use an on-site wastewater disposal system. Based on the proposed project, adequate area is not available for a standard onsite septic system. A deep-pit system will be used instead. The leach lines shall be located at least 100 feet from any private well and at least 200 from any community/public well or retention basin. Prior to building permit issuance, the septic system will be evaluated in greater detail to insure compliance with the Central Coast Basin Plan for any constraints listed above, and will not be approved if Basin Plan criteria cannot be met.

This project complies with the requirements for onsite wastewater disposal requirements as conditioned.

Caretaker Residence: One caretaker residence is allowed on this property, limited to 1,200 square feet, and can be located in accordance with the needs of the applicant, provided the location preserves the industrial or public facility visual character of the principal use.

This project complies with these requirements as proposed because the proposed 1,200 square foot residential unit is appurtenant to the manager's office and designed to aesthetically attractive yet subordinate to the industrial facility.

COASTAL PLAN POLICIES: The project site is located within the California Coastal Zone as determined by the California Coastal Act of 1976 and is subject to the provisions of the Local Coastal Plan. This project is in compliance with the Coastal Plan Policies. The most relevant policies are discussed below.

Shoreline Access: N/A

Recreation and Visitor Serving: N/A

Energy and Industrial Development: N/A

Commercial Fishing, Recreational Boating and Port Facilities: N/A

Environmentally Sensitive Habitats: N/A
Agriculture: ☒ Policy No(s): 1
Public Works: ☒ Policy No(s): 1
Coastal Watersheds: ☒ Policy No(s): 7, 8, 9, 10
Visual and Scenic Resources: ☒ Policy No(s): 2
Hazards: ☒ Policy No(s): 2
Archeology: ☒ Policy No(s): 1
Air Quality: N/A

COASTAL PLAN POLICY DISCUSSION:

ARCHAEOLOGICAL RESOURCES

Policy 1: Protection of Archaeological Resources

The county shall provide for the protection of both known and potential archaeological resources. All available measures, including purchase, tax relief, purchase of development rights, etc., shall be explored at the time of a development proposal to avoid development on important archaeological sites. Where these measures are not feasible and development will adversely affect identified archaeological or paleontological resources, adequate mitigation shall be required.

The proposed project complies with the policy because a Phase I (surface) survey was conducted (Heritage Discoveries.; March 8, 2006 and December 9, 2007). No evidence of cultural materials was noted on the property. Impacts to historical or paleontological resources are not expected. No significant cultural resource impacts are expected to occur, and no mitigation measures are necessary.

AGRICULTURE

Policy 1: Maintaining Agricultural Lands

Prime agricultural land shall be maintained, in or available for, agricultural production unless: 1) agricultural use is already severely limited by conflicts with urban uses; or 2) adequate public services are available to serve the expanded urban uses, and the conversion would preserve prime agricultural land or would complete a logical and viable neighborhood, thus contributing to the establishment of a stable urban/rural boundary; and 3) development on converted agricultural land will not diminish the productivity of adjacent prime agricultural land. Other lands (non-prime) suitable for agriculture shall be maintained in or available for agricultural production unless: 1) continued or renewed agricultural use is not feasible; or 2) conversion would preserve prime agricultural land or concentrate urban development within or contiguous to existing urban areas which have adequate public services to serve additional development; and 3) the permitted conversion will not adversely affect surrounding agricultural uses. All prime agricultural lands and other (non-prime) lands suitable for agriculture are designated in the land use element as Agriculture unless agricultural use is already limited by conflicts with urban uses.

The proposed project is not located on agriculturally zoned land, however is on a site that has historically been used for agricultural purposes. The site is zoned industrial, and is located adjacent to and in between existing industrial uses which include an existing mini-storage directly to the west, existing industrial development directly to the east, and RV storage to the south. Because the site is surrounded by industrial development, is zoned industrial, and the Agricultural Commissioner's office did not see any significant impacts to agricultural resources with this proposal, this project complies with this policy.

HAZARDS

Policy 2: Erosion and Geologic Stability

New development shall ensure structural stability while not creating or contributing to erosion or geological instability.

The proposed project is subject to CZLUO Section 23.05.036 and appropriate control measures will be used to minimize erosion and sedimentation.

PUBLIC WORKS POLICY

Policy 1: Availability of Service Capacity

New development (including divisions of land) shall demonstrate that adequate public or private service capacities are available to serve the proposed development. Priority shall be given to infilling within existing subdivided areas. Prior to permitting all new development, a finding shall be made that there are sufficient services to serve the proposed development given the already outstanding commitment to existing lots within the urban service line for which services will be needed consistent with the Resource Management System where applicable. Permitted development outside the USL shall be allowed only if:

- a. It can be serviced by adequate private on-site water and waste disposal systems; and
- b. The proposed development reflects that it is an environmentally preferable alternative.

The applicant shall assume responsibility in accordance with county ordinances or the rules and regulations of the applicable service district or other providers of services for costs of service extensions or improvements that are required as a result of the project. Lack of proper arrangements for guaranteeing service is grounds for denial of the project or reduction of the density that could otherwise be approved consistent with available resources.

The proposed project complies with this policy because the applicant has submitted an Intent to Serve letter from the Woodland Park Mutual Water company for domestic purposes (caretaker unit, office and landscaping). The on-site well is not proposed for use on this development; Woodland Park Mutual Water Co. is discussing possible acquisition of the well as a back-up resource with the owner. The project will also be subject to Title 19 Section 19.07.042 water conservation provisions that will require water offset clearance with building permit issuance that verifies new water use has been offset at a 1:1 ratio.

This project complies with this policy as proposed and conditioned.

VISUAL AND SCENIC RESOURCES

Policy 2: Site Selection for New Development

Permitted development shall be sited so as to protect views to and along the ocean and scenic coastal areas. Wherever possible, site selection for new development is to emphasize locations not visible from major public view corridors. In particular, new development should utilize slope created "pockets" to shield development and minimize visual intrusion.

The proposed project includes a 50-foot setback from Willow Road with landscaping and screening vegetation, and a four to six foot decorative masonry wall along the frontage, outside of the 50-foot setback. The manager's office / caretaker's unit includes architectural details that are consistent with the craftsman-style look of the manager's unit at the adjacent self-storage facility. The cross-lot building orientation, consistent with the adjacent facility, will present gable 13-foot high ends separated by drive lanes when viewed from the side, screened behind a six-foot slatted chain-link fence.

The proposed project complies with the policy because the proposed development would be adjacent to existing industrial development and does not impede views of scenic vistas from Highway 1. The surrounding area consists of a “mixed bag” of uses which include mostly industrial, some agricultural, and residential uses lining Highway 1 within this corridor. Because of this visual mixture, the proposed project being located between existing development will not impose a new use within a scenic vista, and therefore complies with this policy. Also included in the proposed project conditions are requirements for visual screening and landscaping to further enhance the views of the proposed project within this area.

COASTAL WATERSHED POLICIES

Policy 7: Siting of New Development

Grading for the purpose of creating a site for a structure or other development shall be limited to slopes less than 20%.

The proposed project is consistent with this policy because the development is not located on slopes over 20% and it is not in an Environmentally Sensitive Habitat Area.

Policy 8: Timing of Construction and Grading

Land clearing and grading shall be avoided during the rainy season if there is a potential for serious erosion and sedimentation problems. All slope and erosion control measures should be in place before the start of the rainy season.

The proposed project is consistent with this policy because the project is required to have an erosion and sedimentation control plan and all sedimentation and erosion control measures will be in place before the start of the rainy season as conditioned.

Policy 9: Techniques for Minimizing Sedimentation

Appropriate control measures (such as sediment basins, terracing, hydro-mulching, etc.) shall be used to minimize erosion and sedimentation. Measures should be utilized from the start of the site preparation. Selection of appropriate control measures shall be based on evaluation of the development's design, site conditions, predevelopment erosion rates, environmental sensitivity of the adjacent areas and also consider costs of on-going maintenance. A site specific erosion control plan shall be prepared by a qualified soil scientist or other qualified professional. To the extent feasible, non-structural erosion techniques, including the use of native species of plants, shall be preferred to control run-off and reduce increased sedimentation.

The proposed project is subject to CZLUO Section 23.05.036 and appropriate control measures will be used to minimize erosion and sedimentation.

Policy 10: Drainage Provisions

Site design shall ensure that drainage does not increase erosion. This may be achieved either through on-site drainage retention, or conveyance to storm drains or suitable watercourses.

The applicant will be required to submit a drainage plan prior to construction permit issuance that will ensure that drainage does not increase erosion.

Does the project meet applicable Coastal Plan Policies: Yes, as conditioned.

COMMUNITY ADVISORY GROUP COMMENTS: In an email from representative El-Jay Hansson, “CUP for self-storage complex located on 4.67 acres at 750 Willow Road. Motion by Stephanie Franks, seconded by Rick Dean that NCAC feels strongly that to approve this project

the followings conditions must be met: sufficient landscaping for screening, recirculating car wash, buildings parallel to Willow Road would be more compatible with surrounding projects, improved architectural aesthetics, containment of light to site, limit of hours of operation and an encroachment permit from Cal Trans concerning Highway 1. Yes 11 No 1.”

Staff Comments: Since the recommendation from the advisory council, the project has been revised to orient the buildings parallel to Willow Road and provide additional landscaping, enhanced materials and architectural features on the frontage wall and caretaker’s unit, and eliminate the car wash. Also included are conditions of approval related to encroachment permits and lighting requirements, specifically requiring full cut-off shields on all exterior lighting.

AGENCY REVIEW:

Public Works (6/2/16) – Recommended conditions of approval for access, drainage, and off-site improvements. See Referral from Public Works.

Environmental Health (3/25/16) – “Applicant to verify a 200’ separation distance between septic and retention basin”. Conditions of approval are included in Exhibit B to address Environmental Health’s concerns.

Ag Commissioner – Responded with “no comment”

County Parks – Responded with “no comment”

Cal Fire – Letter dated (4/14/16) providing Fire Safety plan requirements and construction recommendations in file. Project conditioned to comply with fire requirements.

APCD – Letter dated (4/7/16) and email from APCD staff Gary Arcemont dated (4/14/16); construction recommendations are included as mitigation measures and conditions of approval as shown in Exhibit B of this report.

Caltrans – See letter dated June 2, 2016. Caltrans recommendations are included as conditions of approval in Exhibit B.

California Coastal Commission – none received.

LEGAL LOT STATUS:

The existing lot was legally created by a recorded map at a time when that was a legal method of creating lots.

Staff report prepared by Cindy Chambers and reviewed by Steve McMasters.